



Harper

Assessment Property Record Card for Tax Year 2026

Data provided by SHAYLYN WEDER County Assessor

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Assessment Data					Primary Image																																																																																																																				
Account 300000709 Parcel ID 0000-10-25N-25W-3-001-00 Cadastral ID 0000-25N-25W-10-3-001-00 Property Type REAL - Real Property Property Class RA VI Area 4 Tax Area 101 - 1R-LAVERNE Name ID 24359 SILVER RAIL FARMS, LLC % KENT BENTLEY PO BOX 862 SHATTUCK OK 73858- Parcel Location Situs 02458 US HWY 283 Subdivision Lot/Block / Parcel Size 40 - Acres Sec/Twn/Rng 10 / 25 / 25 / 3 Neighborhood 1000 - COUNTY School District 1-LAVERNE - 1-LAVERNE					<p>0000-10-25N-25W-2-001-00 ACCT # 704 06/03/22</p> <p>Home 6/7/2022</p>																																																																																																																				
Legal Description Lat/Long: 36.69894900 -99.89361598 SEC.10-25-25 NW/4SW/4 BOOK 756 PAGE 747 BOOK 620 PAGE 588																																																																																																																									
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Lot Data	Acre - HomeSite and Tracts	Primary Image
Lot Size Lot Count Units Buildable Non-Ag Acres 1 Topography Street Access Utilities Amenities Method Acre Base Lot Value 1.00 x 5,000.00 = 5,000 Factor Value Adjustments Lot Value 5,000		

Residential Data	
Type	1 Single Family Residence
Condition	2 - Fair
Quality	2 - Fair
Architecture	TRAD TRADITIONAL
Style	100% 1 1/2 Story Finished
Exterior Wall	100% Asbestos Siding
Base/Total Area	1,152 / 1,440
Style	100% 1 1/2 Story Finished
HVAC	1 Wall Air Conditioners (Count)
Roof Cover	1 Composition Shingle
Area on Slab	0
Fixture/RghIn	5 /
Bed/F/H Bath	3 / 1.0 /
Basement Area	
Garage Type	
Remodel	
Year/Eff Age	1934 / 110

Home 6/7/2022

GRM Approach	
GRM Code	
Gross Rent	
Indicated Value	

Multiple Regression	
MRA Code	
Adjusted R	
Indicated Value	

Direct Comparables	
Selection Model	DEFAULT DEFAULT SELECTION MODEL
Adjustment Model	DEFAULT DEFAULT ADJUSTMENTS TABLE
Comparables	
Indicated Value	

Cost Approach		Manual :	
Base Cost	63.41	Total Misc Impr	+ 2,428
Roofing Adj	+ 2.77	Garage Cost	+ 0
Subfloor Adj	+ 1.62	Total RCN	= 105,258
Heat/Cool Adj	+ 0.00	Depreciation (80%)	- 84,206
Plumbing Adj	+ 3.61	Lump Sums	+ 0
Basement Adj	+ 0.00	RCNLD	= 21,052
Adj Base Cost	= 71.41	Lot Value	+ 5,000
Total Area	x 1,440	Indicated Value	= 26,052
Adjusted Cost	= 102,830	Value Per SqFt	18.09

Value Reconciliation			
Selected Approach	Cost Approach		
Improvements	21,052		
Lot Value	5,000		
Indicated Value	26,052	18.09	Per SqFt
Agland Value	2,065		
Site Improvements	4,124		
Total Value	32,241	22.39	Total Value Per SqFt

Miscellaneous Improvements								
Code	Description	Sketch ID	Size	Year	Units	Unit Cost	Depr	Value
PRCH	Slab Porch - Covered	251	5x4		20	18.09		362
PATC	Patio - Covered	252	28x5		140	14.76		2,066



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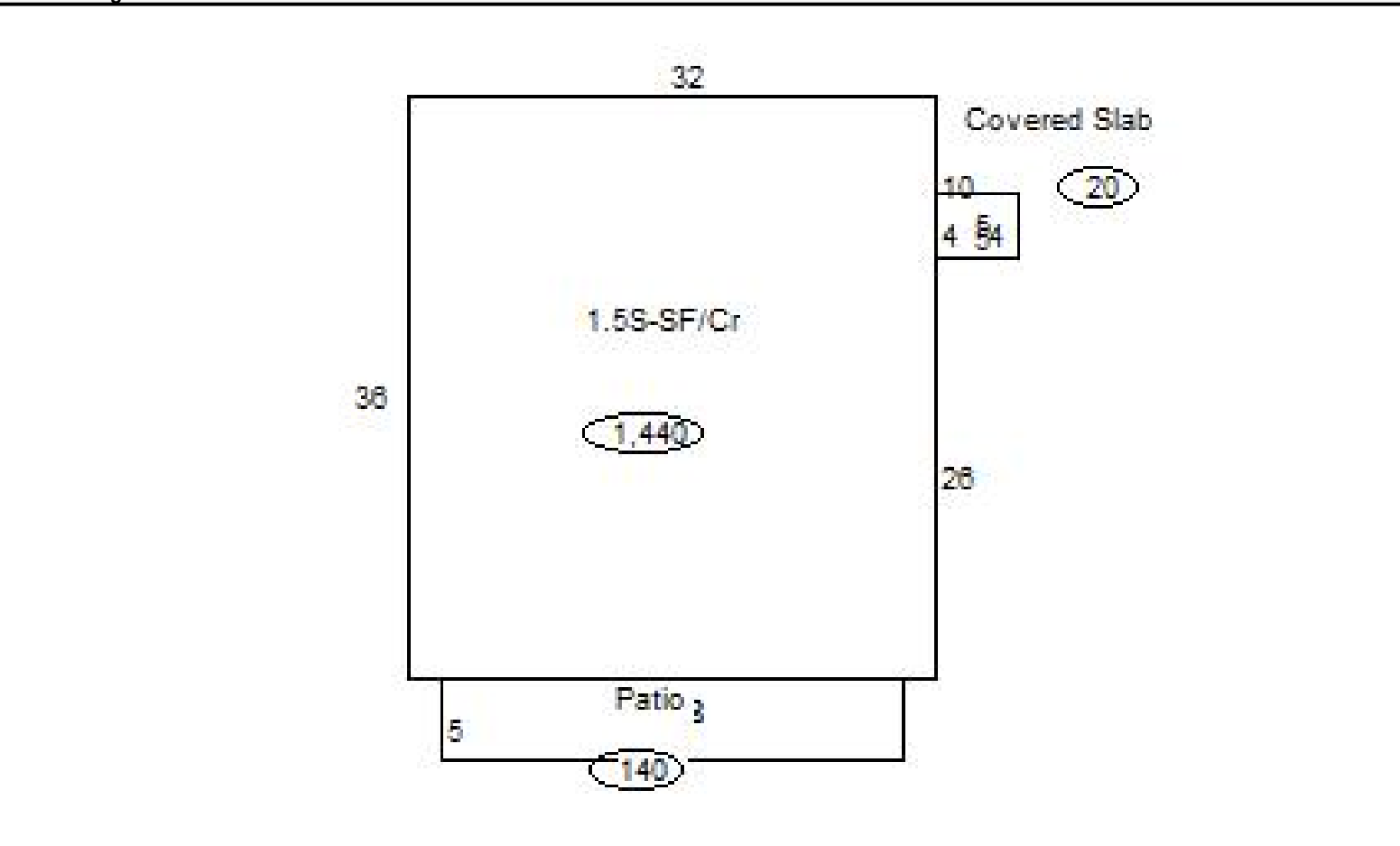
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Sketch Image

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Sketch Vector Information

Sequence	Code	Type	Built Over	Scale	Section Label	Base Area	Multiplier	Total Area
1	R	5	Crawl	20	1.5S-SF/Cr	1,152	1.250	1,440
2	M	PRCH		20	Covered Slab	20	1.000	20
3	M	PATC		20	Patio	140	1.000	140
Total Building Area						1,152		1,440



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Outbuildings/Site Improvements

Building Image	Code	Description	Dimensions	Floor	Roofing	Total Units	
	SHDS	Garage - Detached	42x23x8		Galvanized Metal	966	
	Qual	2	Cond 1	Year 1970	Eff Age 78		
	Valuation Summary		Modifier Total	RCN	Depr (80% Phys/ % Func)		RCNLD
	Base Cost (13.85 x 966)		13,379		13,379	10,703	2,676
	SHDS	Yard Shed - Wood- STUCCO	14x12x6	Base	Composition Shingle	168	
	Qual	3	Cond 3	Year 1960	Eff Age 66		
	Valuation Summary		Modifier Total	RCN	Depr (80% Phys/ % Func)		RCNLD
	Base Cost (24.39 x 168)		4,098		4,098	3,278	820
	SHDS	Yard Shed - Wood	12x12x6	Base	Galvanized Metal	144	
	Qual	3	Cond 3	Year 1960	Eff Age 66		
	Valuation Summary		Modifier Total	RCN	Depr (80% Phys/ % Func)		RCNLD
	Base Cost (21.82 x 144)		3,142		3,142	2,514	628



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Agland Inventory

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Soi	Description	Land Use	LPI	Adj Type	Adj Code	Acres	Use/Acre	Mkt/Acre	Use Value	Market Value
DA	DALHART 1-3%	NP	50			.438	160	160	70	70
OA	OTERO LOAMY SAND	NP	15			1.176	48	48	56	56
QA	QUINLAN LOAM	NP	11			14.241	35	35	501	501
TD	TIVOLI FINE SAND	NP	13			8.491	42	42	353	353
WD	WOODWARD-QUINLAN3-8%	NP	23			14.519	74	74	1,069	1,069
WD	WOODWARD-QUINLAN3-8%	CR	23			.134	117	117	16	16
CR Totals						39.000			2,065	2,065
Total Agland						39.000			2,065	2,065