



Rogers

Assessment Property Record Card for Tax Year 2026

Data provided by LISA DELOZIER County Assessor

Date 04/18/2026
Time 10:44:57
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Assessment Data				Primary Image						
Account	660106294									
Parcel ID	000000-0004-010-0-000-00									
Cadastral ID	01-20-14-05070									
Property Type	REAL - Real Property									
Property Class	RRP	VI Area	3							
Tax Area	3 - OWASSO RURAL/NO FIRE									
Name ID	345457									
MILLER, JUDY										
18927 E CANYON RIDGE RD OWASSO OK 74055-0000										
Parcel Location										
Situs	18927 E CANYON RIDGE RD									
Subdivision	DEER RUN AT STONE CANYON PHASE IV									
Lot/Block	0010 / 0004	Parcel Size	1 - Lots							
Sec/Twn/Rng	1 / 20 / 14 / 5									
Neighborhood	1039 - R-V04, SW OWASSO									
School District	S021 - OWASSO SCHOOLS									
Legal Description Lat/Long: 36.24082580 -95.76621532				Building Permits						
LOT 10 BLOCK 4 DEER RUN AT STONE CANYON PHASE IV				Number	Description	Opened	Closed	Amount		
				R22 248	R23 NEW SFR 2603 SQ FT	07/2022	06/2023	250,000		
Exemptions				Sale History						
Code	Type	Active	Maximum	Exemption	Bk/Pg	Grantor	Date	Price	Code	
					/	FIRSTAR BANK	09/23/2024	575,000	3	
					/	ASHER HOMES LLC	04/22/2024	0	WB	
					/	C.A.B.O DEVELOPMENT COMPANY LL	07/06/2022	90,000	15	
Parcel Valuation										
Source	REAL		Fair Cash	Capped	Asmnt Level	Assessed	Levy Rate	97.960	Current Tax	
Remove Cap	2025		Land Value	127,809	127,809	11%	Assessed	57,975	5,679.23	
Year Frozen			Improvements	399,232	399,232		Penalty	0		
Uncapped Value	0		Mobile Home	0	0		Exemption	0	0.00	
TIF Project ID	0		Total Value	527,041	527,041		Total Taxable	57,975	5,679.00	
Assessment History										
Tax Year	Statement Number	Billed Owner	Tax Area	Total Value	Exemptions	Taxable Value	Billed Tax			
2025	2025-660106294	MILLER, JUDY	3	504,135	0	55,455	5,432.00			
2024	2024-660106294	FIRSTAR BANK	3	478,803	0	52,668	5,060.00			
2023	2023-660106294	ASHER HOMES LLC	3	4,470	0	492	46.00			
2022	2022-660106294	ASHER HOMES LLC	3	4,470	0	492	48.00			



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Lot Data		Square-Foot - NBHD 1039 #1
Lot Size	0	0
Lot Count	1	
Units Buildable		
Non-Ag Acres	0.597	
Topography		
Street Access		
Utilities		
Amenities		0
		0
Method	Square-Foot	
Base Lot Value	26,004.00 x 4.91 = 127,809	
Factor Value		
Adjustments	1.0000	
Lot Value	127,809	



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Residential Data	
Type	1 Single Family Residence
Condition	5 - Very Good
Quality	3.5 - Average
Architecture	TRAD TRADITIONAL
Style	100% One Story
Exterior Wall	95% Veneer, Masonry 5% Frame, Siding, Wood
Base/Total Area	2,634 / 2,634
Style	100% One Story
HVAC	100% Warmed & Cooled Air
Roof Cover	1 Composition Shingle
Area on Slab	2,634
Fixture/RghIn	/
Bed/F/H Bath	3 / 3.0 / 2.0
Basement Area	
Garage Type	752 Attached Garage - Finished
Remodel	
Year/Eff Age	2023 / 1

GRM Approach

GRM Code	
Gross Rent	0.00
Indicated Value	

Multiple Regression

MRA Code	
Adjusted R	
Indicated Value	

Direct Comparables

Selection Model	A Adam Test
Adjustment Model	1 2022 Residential
Comparables	
Indicated Value	

Value Reconciliation

Selected Approach	Cost Approach		
Improvements	399,232		
Lot Value	127,809		
Indicated Value	527,041	200.09	Per SqFt
Agland Value			
Site Improvements			
Total Value	527,041	200.09	Total Value Per SqFt

Cost Approach		Manual : 01/2025	
Base Cost	107.40	Total Misc Impr	+ 18,581
Roofing Adj	+ 5.12	Garage Cost	+ 35,073
Subfloor Adj	+ -3.33	Total RCN	= 403,265
Heat/Cool Adj	+ 14.47	Depreciation (1%)	- 4,033
Plumbing Adj	+ 9.07	Lump Sums	+ 0
Basement Adj	+ 0.00	RCNLD	= 399,232
Adj Base Cost	= 132.73	Lot Value	+ 127,809
Total Area	x 2,634	Indicated Value	= 527,041
Adjusted Cost	= 349,611	Value Per SqFt	200.09

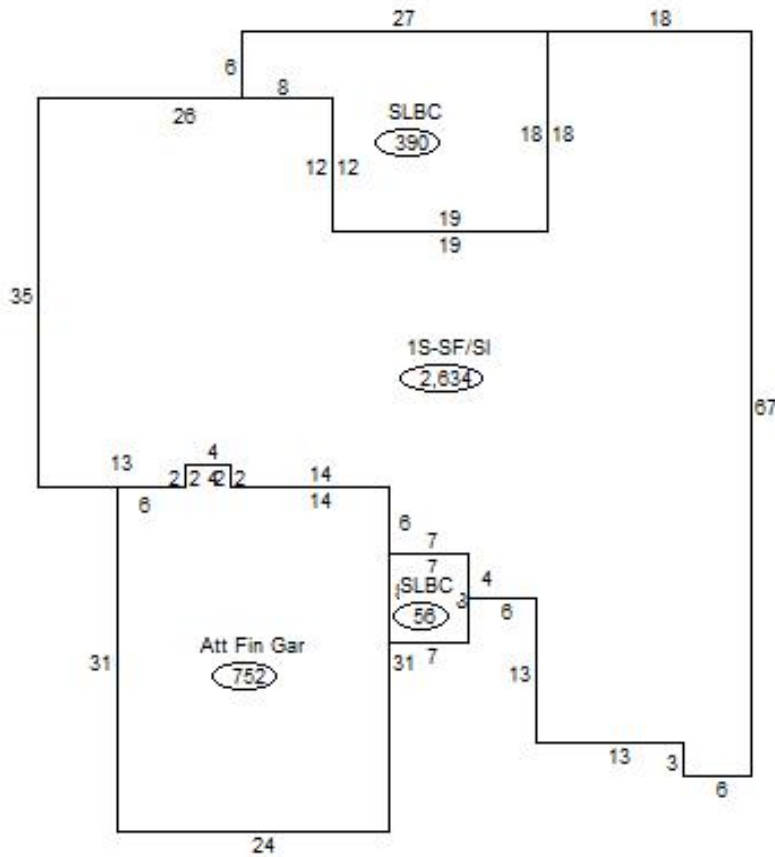
Miscellaneous Improvements

Code	Description	Sketch ID	Size	Year	Units	Unit Cost	Depr	Value
PRCH	Slab Porch - Covered	157491	8x7		56	29.35		1,644
PRCH	Slab Porch - Covered	157492	390		390	28.18		10,990
FPPF	Fireplace - Prefabricated			2023	1	5,947.13		5,947



Sketch Image

660106294



Sketch Vector Information

Sequence	Code	Type	Built Over	Scale	Section Label	Base Area	Multiplier	Total Area
1	R	1	Slab	20	1S-SF/SI	2,634	1.000	2,634
2	G	5		20	Att Fin Gar	752	1.000	752
3	M	PRCH		20	SLBC	56	1.000	56
4	M	PRCH		20	SLBC	390	1.000	390
Total Building Area						2,634		2,634